

**AIRBELL**  
**M J TOWER**  
at mohammadpur, chittagong



# Welcome to AIR BELL M.J. TOWER

AIR BELL M. J. TOWER is a 10 (Ten) Storied Luxurious and Modern Residential Building project of Air Bell Development Technologies Ltd. conveniently located at Mohammadpur R/A, West Solashahar, Panchalish, Chittagong. The location of the project is one of the most prestigious area of Port City Chittagong and lots of good school, college, market and Highway are very close to the project area. AIR BELL M. J. TOWER will provide all modern facilities and amenities that are convenience for the quality conscious people and used for comfortable living and will bestow exclusive facilities but in affordable rate. The Basement and ground floor is reserved for car parking and other facilities & amenities while the 1<sup>st</sup> floor to 9<sup>th</sup> Floor of the project accommodates Residential Apartments. The apartment has a simple and clear layout with proper ventilation where light and air flow naturally through the interior spaces.

Air Bell Development Technologies Ltd. is to ensure total comfort and satisfaction of buyers, rather than only selling Apartments.

## Project at a Glance

**Project Name :** AIR BELL M. J. TOWER

**Address :** 328/Mohammad R/A, West Sholashahar, Panchalish, Chittagong.

**Land Area :** 963.56 Sqm. (14.4 Katha)

**Number of Apartments :** 45 nos.

**Number of Parking :** 34 nos.

**Size of Apartments :** 961sft. -1362sft.

**Completion :** December 2013

**Common Facilities :** Parking, Community Space, Prayer Space, Lift, High Capacity Generator, Reception Lobby, Guard Room, Waiting Room, Water Treatment Plant , Fire Fighting Equipments and Garbage System etc.,

**Consultant :** KHETRO ,  
Flat 5, House 82/A, Sugandha R/A,  
Chittagong.

**CDA Approval No :** চউক/২৬/০১/২০১০-২০১১/২৭৬১ তারিখ- ২৩/১১/২০১০



স্বপ্ন পূরণে AIR BELL . . . .

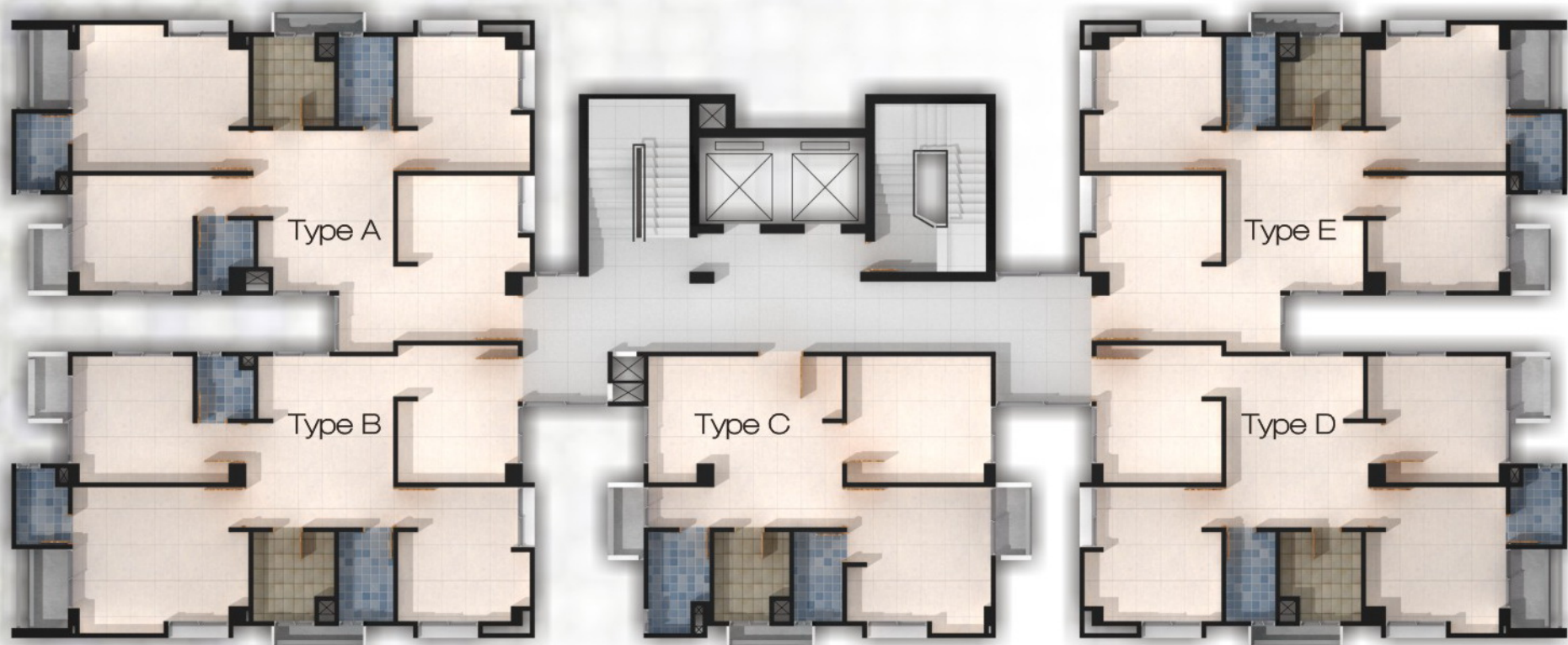




LOCATION MAP



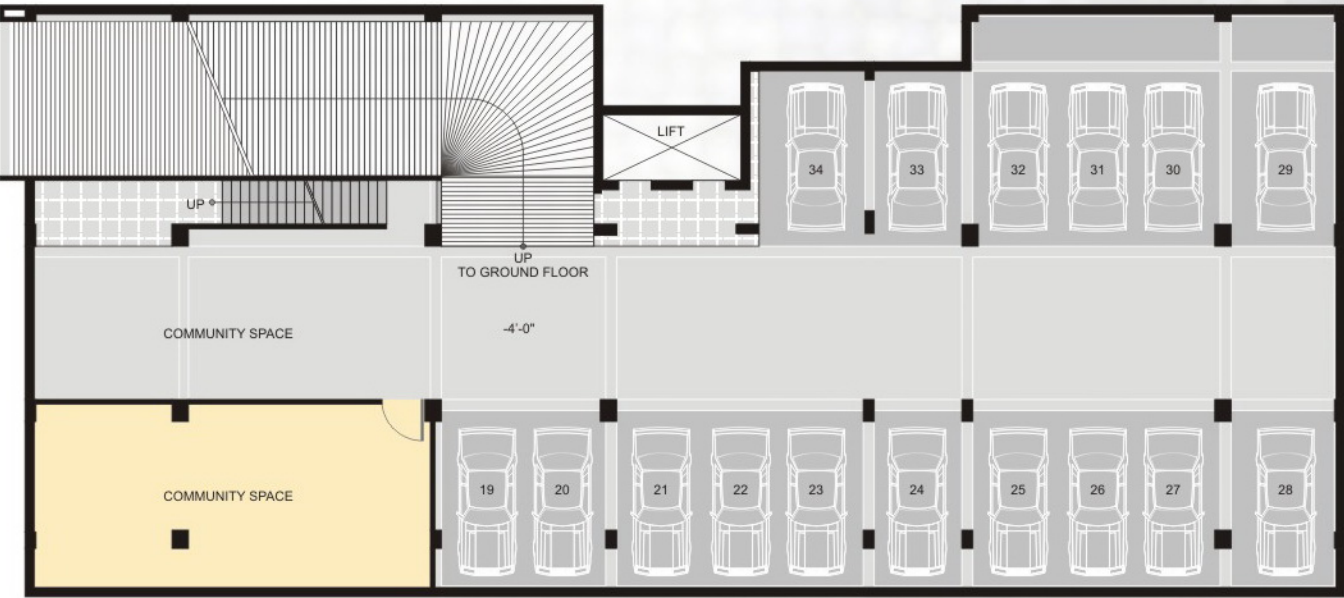
## KEY PLAN



**AIRBELL**  
**MJ TOWER**

<b>A</b>	1362 SFT
<b>B</b>	1309 SFT
<b>C</b>	961 SFT
<b>D</b>	1222 SFT
<b>E</b>	1272 SFT

SEMI-BASEMENT



GROUND FLOOR PLAN





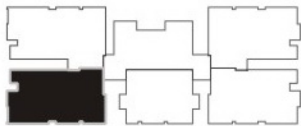
TYPICAL FLOOR PLAN



TYPE **A** 1362 sft



TYPICAL FLOOR PLAN



TYPE **B** 1309 sft





TYPE C 961 sft



# AIRBELL MJ TOWER



TYPE D 1222 sft



TYPICAL FLOOR PLAN



TYPE **E** 1272 sft



# GENERAL FEATURE & AMENITIES:

## Building Entrance:

- The main entrance of the building will be impressively designed by a team of reputed and professional designers.
- The Project Name and Logo will be artistically crafted on the main entrance wall.
- Secured heavy main gate with a guard room in the entrance to ensure safety and control.

## Reception Lobby:

- The reception area and lobby will be designed with Guest waiting space.
- Elaborate intercom system to connect each apartment to the concierge desk.

## Lift & Staircase :

- 2 (Two) Lift will be provided with 8 (eight) Persons carrying capacity from reputed international manufactures with adequate lighting and attractive door & cabin.
- Stair tiles in all staircases with stair railing to easy climb steps and adequate lighting.
- Required Fire stair to be provided for Emergency Exit with Fire protection feature in all stair cases.

## Parking :

- Heavy secured & protected car parking spaces on Semi-Basement & Ground floor for residential as per CDA rules.
- Spacious and comfortable internal driveway and driver's waiting room with toilet.

## Substation & Generator :

- A Substation with HT &LT switch gear/panel will be made on ground floor as per required KVA.
- One Stand by emergency diesel Generator as per required capacity for operating necessary services incase of power failure.

## Common Amenities :

- Electricity supply approx 220v from BPDB source with separate main cable and LT panel/ distribution board.
- Gas pipe line connection from Karnafully Gas distribution system as per total calculated consumption, adequate safety measures incorporated.
- Water supply connection from WASA sufficient as per total calculated consumption.
- Underground water reservoir and roof top over-head tank with one main lifting pump and one stand by water pump for emergency.
- Sewerage system planned for long term requirements.

## Additional Facilities :

- Provision for General Garbage chute.
- Air Conditioner duct for each apartment.
- Provision for Telephone connection and Dish Connection line.
- Community Hall with accommodation of 300 people.
- Prayer Room Space.
- Attractive Garden in the entrance.

## Roof Top

- RCC roof Treatment for protection from over heating and dampness maintaining proper slope for smooth roof drainage.
- Protective parapet wall.



Attractive landscaping and fountain in the entrance.



## Main Apartment Features:

### Apartment layout:

All apartments will be well planned to meet the needs of the residents and to provide the convenience desired in a high quality apartment. Adequate light and ventilation will be emphasized throughout the design.

### Floors & Walls:

- Floors will be homogeneous tiles (Brand – RAK/Fu-Wang /CBC).
- All Brick wall will be 5" Brick Works and all faces of wall & Ceiling will be plastered.

### Doors:

- Solid Decorative main entrance door with door chain, Check Viewer, Calling bell with switch, solid brass door knocker and handle lock of superior quality.
- Strong and durable Gamari or equivalent veneer flush door will be used for internal door (except Kitchen and bathroom) with cylindrical lock.

### Windows:

- Sliding Aluminum frame windows fitted with 5mm thick tinted glass as wind and rain water barrier.
- Well designed safety Grill (M.S.) for all windows with mosquito net fitting.

### Painting:

- Smooth finish plastic/distemper paint on all walls and ceiling in soft colors.
- Soft color High quality weather proof painting on outside surface.

### Bathroom Features:

- Water proof plastic doors for all bathrooms.
- RAK/FUWANG/CBE equivalent tiles in bathroom up to false slab.
- RAK/Locally Made good quality sanitary wares.
- Best quality Chrome plated bathrooms fittings (Nzama /Sujan/Sharif).
- Separate plug points for geysers for master bath.
- Exhaust Fan provision for all bathrooms.

### Kitchen Features:

- Impressively designed platform with ceramic tiled worktop.
- Double burner gas outlet.
- RAK/Fu-Wang/Equivalent wall tiles up to 2'-6" height.
- RAK/Fu-Wang/Equivalent matching non skid floor tiles.
- Concealed water line.
- One Stainless Counter-top steel sink with mixer.
- One tiled/ Mosaic finished sink for washing pots and pans.
- Provision for exhaust fan in suitable location.

### Electrical Features:

- All electrical wiring will be concealed and quality electrical cable (Eastern/BRB/Paradise) will be used.
- Sufficient power points and switch points will be provided in each room and common spaces in accordance with their usage.
- Sufficient number of fan & light points will be provided in each room & spaces.
- Best quality locally imported dimmers, switches, sockets will be installed.
- All electric wiring, phone lines & Water lines etc will be concealed.
- All apartments will have the independent Gas connection and electric meters.
- Telephone connection points in Master Bedroom and Living Room.
- Provision with power points for air conditioners in Master Bedroom.
- Intercom connection with concierge Desk.
- MK Type Electrical Switches, Plug Points and other fittings.
- Electrical Distribution Box with Main Switches.
- Emergency Light in Each Apartment.
- All power outline with earthing connection.

### Major Structural Materials:

- Bricks – 1st class bricks.
- Cement - Ruby, Confidence, Aramit, Royal.
- Sand - 2.5 FM Coarse Sand (Sylhet) & FM medium Sand (Local).
- Steel - 60/40 Grade deformed bar BSRM, KSRM, BSIL.
- Aggregates – Stone chips to be used in base columns, Footings and situ pile and good quality picked for Roof slabs/beams and other structural members.

## Structural & Engineering Features :

- All material shall be used as per American Standard of Testing Materials (ASTM) code & all structural design parameters based on American Concrete Institute (ACI) building code & Bangladesh national Building code (BNBC).
- Structure has been designed to withstand natural effects like wind loads measuring up to 200MPH and earthquakes based on local condition.
- Sub soil investigation and soil composition comprehensively analyzed by latest testing equipments and laboratory techniques.
- Heavy reinforced cement concrete foundation and floor slabs.
- Total foundation and superstructure design & supervision and section by section checking & testing of all steel reinforcement will be conducted by a team of reputed and professional structural design engineers.





# TERMS AND CONDITION

## Application

Interested client(s) will submit application for reservation of apartment in "AirBell M.J. Tower" shall be made on the prescribed application form supplied by AirBell Development Technologies Ltd. duly signed by the Buyer(s) along with down payment and other necessary documents. The company has the right to accept or reject any application without assigning any reason whatsoever.

## Allotment

Allotment will be made on first come first serve basis. Upon acceptance of Application, Down payment and other necessary papers, AirBell will issue a provisional Allotment letter in favor of the Applicant. This will include the payment schedule, which the Buyer should follow on receiving the allotment letter. Buyer(s) willing to make one time payment will be rewarded with substantial rebate. The Buyer is not entitled to transfer the Apartment to third party till the handed over to him/her.

## Agreement

The client will be required to execute An agreement for provisional allotment/sale of apartment in company's standard form between the Company and the Allottee with in one month from the date of application to safeguard the interest of the both parties.

## Payment

All payments of booking money, installments, car parking cost, additional works and other charges shall be made by of A/C payee cheques, Bank Draft or pay order in favor of "AirBell Development Technologies Ltd." and respective recipients will be issued by the company. Buyers residing abroad may remit payments on company's bank account in foreign exchange by TT or DD.

## Delay in Payments and Cancellation

The allottee must strictly adhere to the schedule of payment to ensure timely completion of the project. Any Delay in the payments beyond the due date will make the allottee liable to pay a delay charge of 5% per 30 days on the amount not paid in due time. In case the payment is delayed beyond 60 days or Two installments, AirBell shall have the right to cancel the allotment without providing any notice to the allottee. In such event, the amount paid by the allottee will be refunded after deducting 15% of total agreed price of Apartment as penalty. All refund would be made only after resale of that specific apartment and recollection of the refundable amount from the new purchaser.

## Loans

Should the Allottee desire a housing loan from any bank/financial institutions, the Company will do all that is possible to help recurs the loan.

## Registration Charges and Govt. Taxes

The developer will extend necessary assistance in completing the registration of the flat along with undivided /undemarcated portion of land in the name of allottees. The allottee shall bear all cost of stamps, duties, VAT, registration fee, gain tax, transfer fee, documentation charges and other miscellaneous expenses likely to be incurred in connection with the deed of agreement, allotment, registration and transfer etc.

## Utility Cost

Connection fees, security deposits and incidental/procurment expenses/charges relating to gas, water, sewerage, power connections are not included in the price of the apartment. AirBell makes these payments directly to the concerned authorities and the Buyer shall reimburse the amount to AirBell.

## Handover

The possession of the apartment will be handed over to the allottee on completion and full payment of installment and other charges & dues. Prior to this possession of the apartment will remain with the company.

## Completion of the Projects

The completion period of the project can be affected by circumstances beyond the control of the company , like natural calamity, political disturbances, strikes, civil commotions, non-availability of materials , non paymentment of installments in time by the clients and other force major.

## Design Change

After taking over apartment or the project, the allottee(s) must consult AirBell prior to undertaking any structural or layout changes within the Apartment, failure to do so will be at the sole risk of the allottee(s).

## Owners Association

The buyer must under take to become a member to the owners Association, which will be formed by the owners of the Apartments with the view to maintaining the general affairs of the complex for common interest. Each apartment owner must initially deposit Tk 10,000/ to the reserve fund as the time of taking over the possession of apartment.

## Company Right

The Company has the right to accept any application for allotment. It also reserve, the right to make minor changes in both architectural and structural design of the project limited charge can be made in specifications for overall interest of the Project.

## MODE OF PAYMENT

### Booking Payment

Booking payment for flat shall be taka 1,00,000.00(One Lac) per flat.

### Down Payment

Minimum 25% of flat cost along with the application.

### Installment

Minimum balance Amount have to be paid as per company's schedule which will be mentioned in the provisional allotment agreement.





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M. J. TOWER



#### GENERAL DISCLAIMER

All rendering contained in this brochure are artist's impression only.

Apartment size may vary 5% subject to actual measurement.

The developer (ABDTL) reserves the right to modify at any part of the project which may be deemed necessary for the greater interests of the project.

Furniture in the layout plans are only for clear understanding of the spatial quality of the apartments



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